



Planning Commission Meeting

AGENDA

December 19, 2017

- I. **CALL TO ORDER**
- II. **ROLL CALL**
- III. **MINUTES OF PREVIOUS MEETING**
 1. [Minutes of Previous Meeting - August 15, 2017](#)
- IV. **REPORT FOR CODE ENFORCEMENT OFFICER**
- V. **OPEN PUBLIC HEARINGS**
 1. [Request for COA - 2025 W Spring Street](#)
- VI. **CLOSE PUBLIC HEARINGS**
- VII. **RECOMMENDATIONS ON REQUESTS**
- VIII. **NEW BUSINESS**
- IX. **ADJOURNMENT**



Planning Commission Meeting

AGENDA

December 19, 2017

Item:

Minutes of Previous Meeting - August 15, 2017

Department:

Additional Information:

Financial Impact:

Budgeted Item:

Recommendation / Request:

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download

 [Minutes of Previous Meeting](#)

MONROE PLANNING COMMISSION
MINUTES
August 15, 2017

Present: John Howard
Rosalind Parks
Kyle Harrison
Michael Reese
Mike Eckles

Absent: None

Staff: Logan Propes, City Administrator attended in Patrick Kelley, Director of Code/Planning's absence
Debbie Adkinson, Code Department Assistant

Visitors: Jenny Carter, Andrea Gray, Joe Dixon, Kym Dixon, Gloria Reese, Todd Jackson

The meeting was called to order by Chairman Howard at 5:30 pm.

Chairman Howard asked for any changes, corrections or additions to the July 18, 2017 minutes. Hearing none he entertained a motion. Harrison made a motion to approve. Parks seconded. Motion carried. Minutes Approved.

Code Officer Report: None.

Public Hearing opened at 5:32 pm

The only item of business: is for petition # 17-00323 for an annexation and a rezone at 1050 & 1054 Good Hope Road. The applicant is Stone Creek Development, LLC. They are requesting an annexation of 46.57 acres of 1050 Good Hope Road and to rezone all 51.07 +/- acres of 1050 & 1054 Good Hope Road to R1-A. The Code Department recommends approval with conditions. Conditions being: 1. Maximum 3 units per acre, 2. Front façade to have brick, stone or stucco accent with the remainder of the home to be of the same material or wood or fiber cement siding. 3. That all state waters be delineated on the plans.

Jenny Carter, the Attorney representing Stone Creek Development LLC spoke to the request. She was accompanied by Andrea Gray, Attorney and the member manager, Joe Dixon. The property consists of two parcels of land. The one parcel, 1054 Good Hope Road, is already located in the City of Monroe and the second parcel which is the larger parcel, 1050 Good Hope Road, they are asking to be annexed and both parcels to be rezoned as R1-A. The proposed entrance is about 650 ft from the Carver Middle School entrance. The request to rezone to R1-A is to allow full development of the property. They submitted a copy of a reservation of their constitutional rights, alleging that as zoned the property could not be fully developed. The zoning requested they feel would replace one that is currently unconstitutional as applied to this property. Their plan is for 138 single family lots which is less than 3 units per acre. The homes would meet the recommended conditions of the Code Department. They are asking for one additional condition to be able to use vinyl for the soffit for maintenance issues.

Chairman Howard asked if there were comments about the vinyl soffits.

Logan Propes stated that would be acceptable.

Chairman Howard asked if there were any questions for Ms. Carter.

Reese: What is the price point?

Carter: It would be between \$182,000 and \$200,000.

Propes: asked about Condition # 3 of state waters being delineated on the plans. It was noted in conversation that there was a couple of small ponds or potential ponds beyond the one shown. What did you come up with there?

Carter deferred to Mr. Dixon.

Dixon: We had a wetlands study done by Nelson Environmental Inc. He will send a copy to us.

Chairman Howard asked for any other questions. Being none he entertained a motion to approve with Conditions as noted by Patrick Kelley. 1. Maximum 3 units per acre, 2. Front façade to have brick, stone or stucco accent with the remainder of the home to be of the same material or wood or fiber cement siding and with the request from the applicant an additional condition to allow vinyl soffits and 3. That all state waters be delineated on the plans. Michael Reese moved to approve with the recommended conditions. Mike Eckles seconded. Motion Carried.

Public Hearing was closed at 5:38 pm

New Business: Michael Reese thanked the City and City Council for considering him for being on the Planning and Zoning Commission. His tenor ends September 1, 2017.

Chairman Howard entertained a motion for adjournment. Harrison made the motion. Eckles seconded. Motion passed unanimously. Meeting adjourned at 5:40 pm.



Planning Commission Meeting

AGENDA

December 19, 2017

Item:

Request for COA - 2025 W Spring Street

Department:

Additional Information:

Financial Impact:

Budgeted Item:

Recommendation / Request:

Viewing Attachments Requires Adobe Acrobat. [Click here](#) to download.

Attachments / click to download

 [Request for COA](#)

CERTIFICATE OF APPROPRIATENESS



215 North Broad Street
Monroe, GA 30655
CALLFORINSPECTIONS
770-207-4674 ... Phone
codedept@monroega.gov

PERMIT NUMBER	DATE ISSUED	VALUATION	FEE	ISSUED BY
17-00520	11/09/2017	\$ 0.00	\$ 50.00	adkinson

NAME + ADDRESS	LOCATION	2025 W Spring St Monroe, GA 30655	USEZONE	B-3	FLOODZONE	
			PN	M0001-001-B00		
	CONTRACTOR	Integrity Engineering & Development	SUBDIVISION	CORRIDOR DESIGN OVERLAY DISTRICT		
			LOT			
			BLOCK	0		
			UTILITIES...			
		3615 Braselton Hwy Ste Dacula GA 30019	Electric			
			Sewer			
			Gas			
	OWNER	System Capital Real Property Corp.,	PROJECTID#	2025WSpringSt-17110 9-2		
		210 S Broad St Monroe GA 30655	EXPIRATIONDATE:	05/08/2018		

CHARACTERISTICS OF WORK

DESCRIPTION OF WORK	DIMENSIONS
Request for COA for CDO - P&Z Meeting 12/19/2017 @ 5:30 pm 215 N Broad Street	#STORIES
	SQUAREFOOTAGE
	Sq. Ft.
	#UNITS
NATURE OF WORK	SINGLEFAMILY ONLY
Other	#BATHROOMS
CENSUS REPORT CODE	#BEDROOMS
905 - Certificate of Appropriateness	TOTAL ROOMS

NOTICE

This permit becomes null and void if work or construction authorized is not commenced within six (6) months, or if construction or work is suspended or abandoned for a period of six (6) months at any time after work is started.

I hereby certify that I have read and examined this document and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. Granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Signature of Contractor or Authorized Agent

Date

Debbie Adkinson

11-9-17

Approved By

Date

MANAGE YOUR PERMIT ONLINE

WEBADDRESS	PERMIT NUMBER	PERMIT PIN
http://BuildingDepartment.com/project	17-00520	55323 Item # 2



City of Monroe
215 North Broad Street
Monroe, GA 30655

Phone: 770-207-4674
Fax: 770-207-4556

Paid Invoice

Page 1 of 1

DATE	INVOICE #
11/9/2017	17-0514
PAID DATE	11/9/2017

PERMIT NUMBER	17-00520
2025 W Spring St COMM/TR#5 1.27AC 979/117 MCDONALDS Monroe, GA 30655	

ACCOUNT :

Integrity Engineering & Development
Ste
3615 Braselton Hwy
Dacula GA 30019

Phone: 770 601 6879

Date	Status	Payment	Amount
11/9/2017	Original Due		50.00
11/9/2017	Paid	Check # 2132	(-) 50.00

Total Paid	50.00
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Front Elevation

Rear Elevation



Non-Drive-Thru Side Elevation

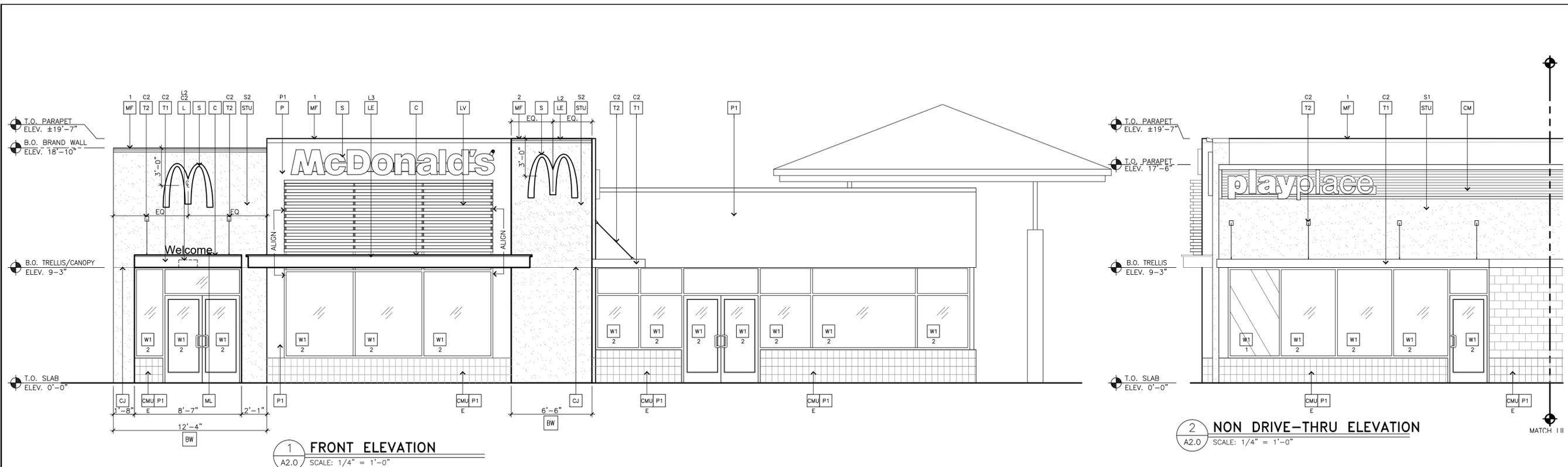


Drive-Thru Side Elevation

SCHEME: MODERN

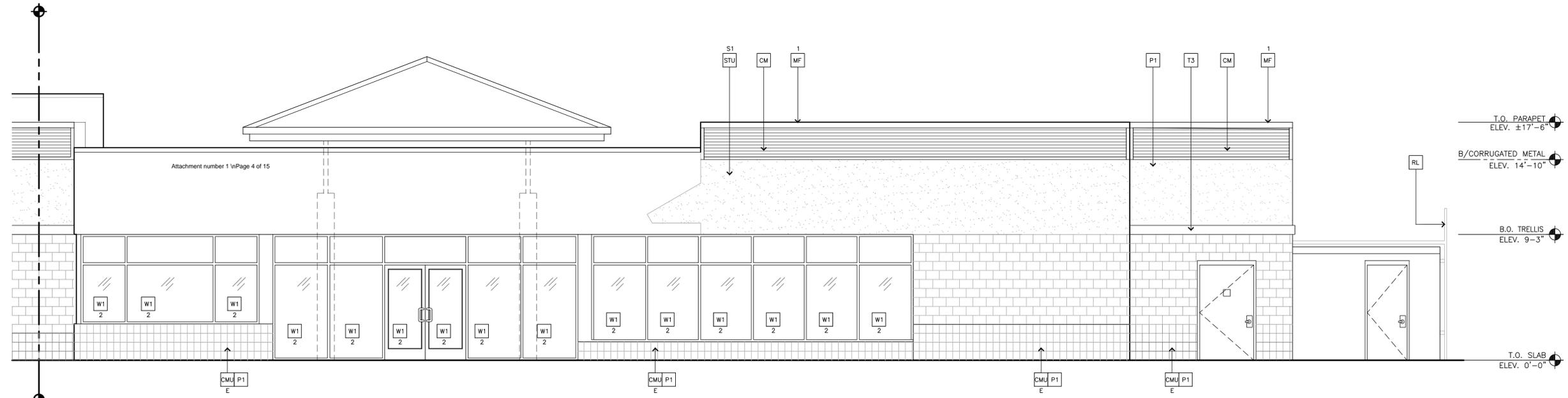
Materials Legend:

- Stucco/Paint - Base Color: Chelsea Gray BM-HC-168
- Stucco - Brand Walls: Iron Mountain BM-2134-30
- Aluminum Canopy (Metal)
- Glazing (Windows + Storefront)
- Aluminum Trellis
- Metal (Coping)
- Corrugated Metal
- Existing Roof Structure



1 FRONT ELEVATION
A2.0 SCALE: 1/4" = 1'-0"

2 NON DRIVE-THRU ELEVATION
A2.0 SCALE: 1/4" = 1'-0"



2 NON DRIVE-THRU ELEVATION - CONTINUED
A2.0 SCALE: 1/4" = 1'-0"

KEY NOTES:

- BW** BRAND WALL
- C** ALUMINUM CANOPY FASCIA SYSTEM (COLOR: WHITE)
- CMU** EXISTING MASONRY BLOCK
E = TYPE;
EX = EXISTING TO REMAIN
- CM** CORRUGATED METAL PANEL - SEE ASSEMBLY NOTES ON A3.0 FOR ADDITIONAL SPECIFICATIONS
XX-COLOR:
C1 = "CITYSCAPE"
C2 = "CHARCOAL" (DT WINDOW SURROUND ON UNPAINTED BRICK BASE BUILDING)
- CJ** CONTROL JOINT
- LV** METAL LOUVER PANEL BY TRELLIS VENDOR
COLOR: CITYSCAPE
- L** LIGHT FIXTURE - SEE ELECTRICAL
XX-TYPE:
L1 = UP AND DOWN SCENCE
L2 = DOWN ONLY SCENCE
L3 = RECESSED DOWN FIXTURE
L4 = FLOOD LIGHT
C1 = SILVER
C2 = WHITE
- ML** METAL LETTERING - BY OTHERS (COLOR: SILVER)
- LE** ACCENT LIGHTING - SEE ELECTRICAL
XX-LED LIGHT:
L1 = UP AND DOWN FIXTURE
L2 = DOWN ONLY FIXTURE
L3 = INTEGRAL CANOPY FIXTURE
L4 = FLOOD LIGHT
- MF** METAL FASCIA - COLOR TO MATCH CORRUGATED METAL PANEL
1-TYPE:
1 = PRE-FAB ANCHOR-TITE FASCIA
2 = PRE-FAB CUSTOM ARCADE FASCIA
- P** PAINT FINISH
P1-TYPE: (COLOR-SEE COLOR LEGEND)
P1 = PAINTED COLOR BASE BUILDING
P2 = PAINTED COLOR ACCENT
- SC** NEW METAL SCREEN SYSTEM
COLOR: ALUMINUM
- S** McDONALD'S SIGNAGE BY OTHERS - UNDER SEPARATE PERMIT.
- STU** STUCCO
S1-TYPE: (COLOR-SEE COLOR LEGEND)
S1 = PAINTED STUCCO-COLOR BASE BUILDING
S2 = PAINTED STUCCO-COLOR ACCENT/BRAND WALL
- T1** ALUMINUM TRELLIS SYSTEM
XX-COLOR:
C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL
C4 = GOLD
- T2** ALUMINUM TRELLIS TIE-BACK SYSTEM
XX-COLOR:
C1 = CITYSCAPE
C2 = WHITE
C3 = CHARCOAL
C4 = GOLD
- T3** ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM
COLOR: CITYSCAPE
- W1** NEW STOREFRONT AND GLAZING
1-1 = NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN
- RL** ROOF LADDER (EXISTING); PAINT TO MATCH ADJACENT SURROUNDING FACADE

COLOR SCHEMES		
MODERN SCHEME STUCCO	BASE BUILDING: BRAND ACCENT (BRAND WALLS): DT SURROUND:	CHELSEA GRAY HC-168 IRON MOUNTAIN BM# 2134-30 CORRUGATED METAL PANEL: CHARCOAL GRAY

NOTE:
SHADED REGIONS DENOTE LOCATIONS WHERE NEW STUCCO IS TO BE APPLIED DUE TO THE REMOVAL OF OLD OBJECTS ON THE EXISTING BUILDING'S FACADE. COORDINATE WITH EXTERIOR WALL ASSEMBLY TYPES ON SHEET A3.0.

BUILDING SIGNAGE SCHEDULE		
FACADE	SIGN ELEMENT	S.F.
FRONT	① McDONALD'S PLAYPLACE LOGO (2'-5"H X 12'-0"W)	21.93
	② McDONALD'S "M" ARCH LOGO (3'-6"H X 4'-0"W)	14
	③ McDONALD'S "M" ARCH LOGO (3'-6"H X 4'-0"W)	14
TOTAL:		49.93
NON-DRIVE THRU SIDE	① McDONALD'S LOGO (2'-3"H X 18'-6"W)	33
TOTAL:		33
DRIVE THRU SIDE	① McDONALD'S LOGO (2'-3"H X 18'-6"W)	33
TOTAL:		33
TOTAL BUILDING SIGNAGE		115.93

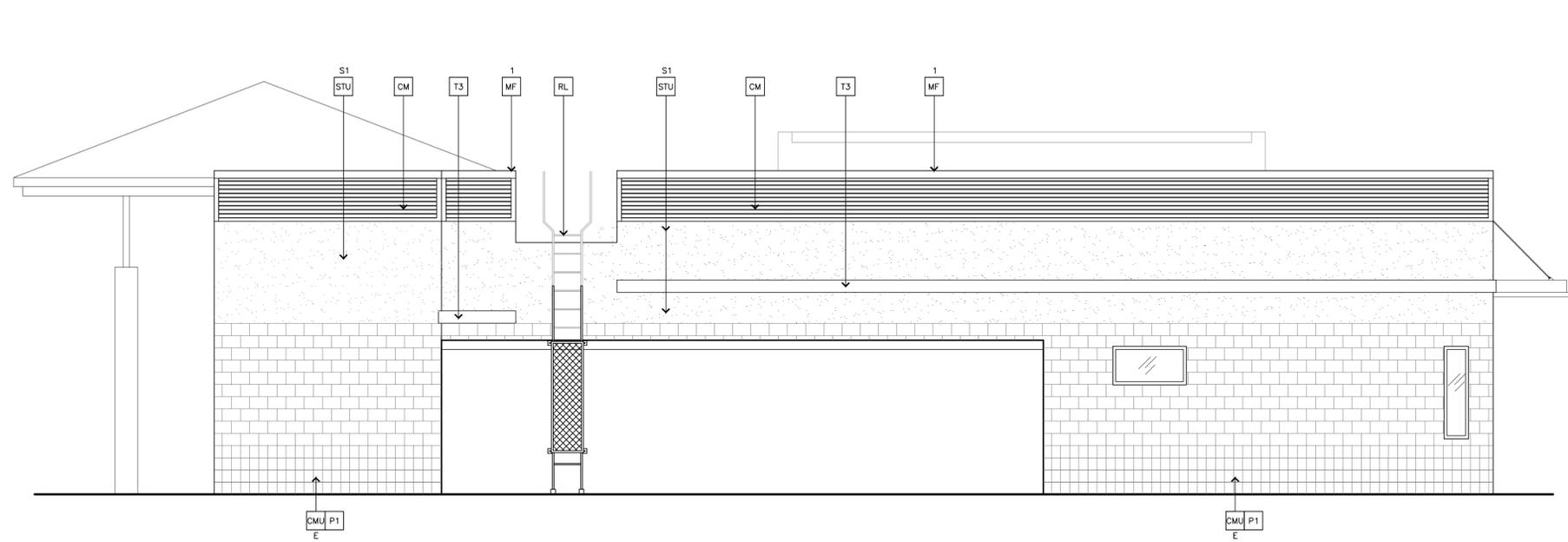
DRAWN BY: _____
 STD ISSUE DATE: OCTOBER 2017
 REVIEWED BY: _____
 DATE ISSUED: 11/01/17
 SITE ADDRESS: 010-1045
 MONROE, CA 90655

PREPARED FOR: **McDonald's USA, LLC**
 PREPARED BY: **URS Corporation**
 architects - engineers - planners
 1255 Broad Street, Suite 201
 Clifton, NJ 07013-3988
 973.883.8590 ax 973.883.8501
 http://www.urscorp.com

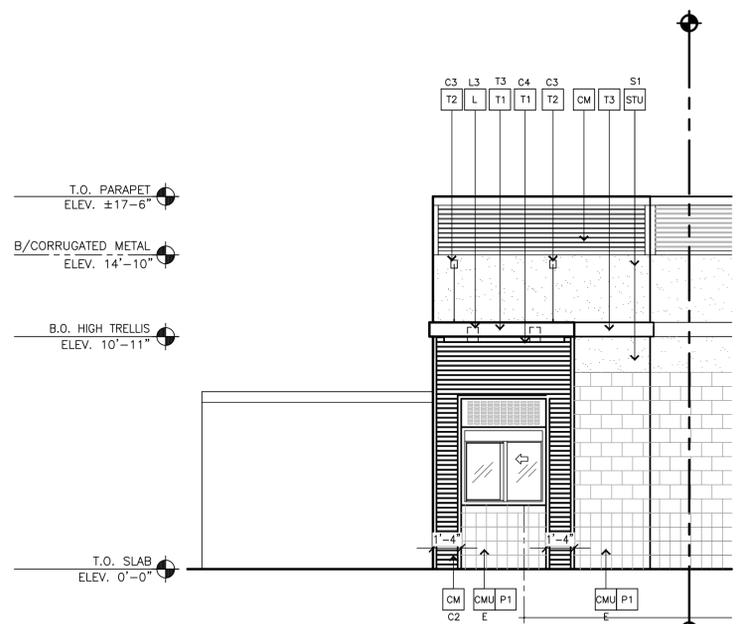
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TITLE: 2017 MRP 2.0
 CORE 16 EXTENSION
 DESCRIPTION: WOOD BEARING WALLS W/EIFS EXTERIORS FINISH
 STEEL ROOF TRUSS FRAMING
 BRICK EXTERIOR FINISH
 SHEET NO. 010-1045.00.0
A2.0
 ELEVATIONS

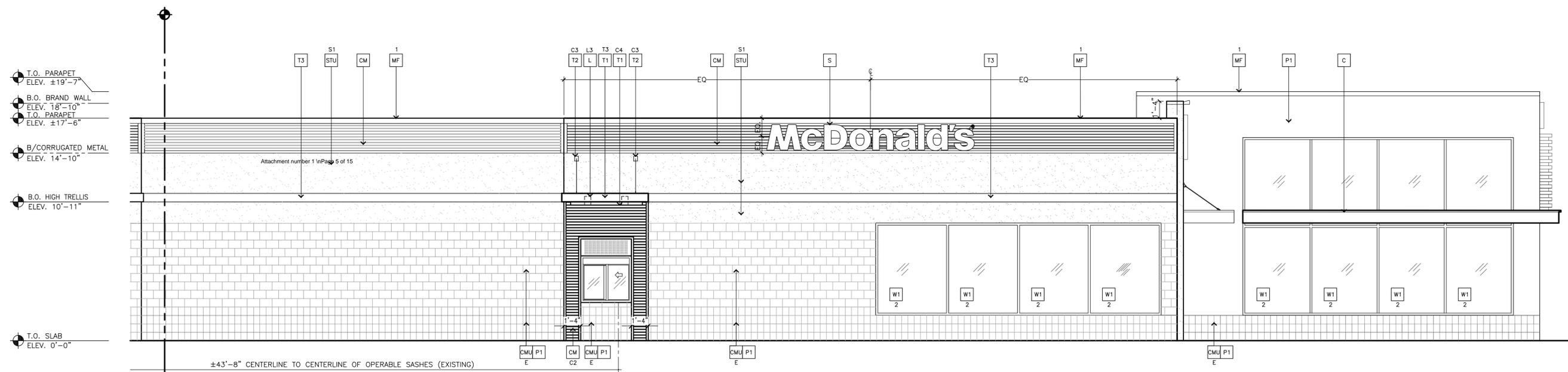
REV	DATE	DESCRIPTION



1 REAR ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



2 DRIVE THRU ELEVATION
A2.1 SCALE: 1/4" = 1'-0"



2 DRIVE-THRU ELEVATION - CONTINUED
A2.1 SCALE: 1/4" = 1'-0"

KEY NOTES:

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XX - COLOR:
C1 = "CITYSCAPE"
C2 = "CHARCOAL" (DT WINDOW SURROUND ON UNPAINTED BRICK BASE BUILDING)
- CJ** CONTROL JOINT
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COLOR: CITYSCAPE
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S2 = PAINTED STUCCO-COLOR ACCENT/BRAND WALL
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C4 = GOLD
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XX - COLOR:
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C2 = WHITE
C3 = CHARCOAL
C4 = GOLD
- T3** ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM
COLOR: CITYSCAPE
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- W1** NEW STOREFRONT AND GLAZING
1-1 = NEW STOREFRONT AND GLAZING - SEE ASSEMBLY NOTES
2 = EXISTING WINDOW TO REMAIN

COLOR SCHEMES		
CRAFTSMAN SCHEME EIFS	BASE BUILDING: BRAND ACCENT (BRAND WALLS): DT SURROUND:	CHELSEA GRAY HC-168 IRON MOUNTAIN BM# 2134-30 CORRUGATED METAL PANEL: CHARCOAL GRAY

NOTE:
SHADED REGIONS DENOTE LOCATIONS WHERE NEW STUCCO IS TO BE APPLIED DUE TO THE REMOVAL OF OLD OBJECTS ON THE EXISTING BUILDING'S FACADE. COORDINATE WITH EXTERIOR WALL ASSEMBLY TYPES ON SHEET A3.0.

BUILDING SIGNAGE SCHEDULE		
FACADE	SIGN ELEMENT	S.F.
FRONT	① McDONALD'S PLAYPLACE LOGO (2'-5"H X 12'-0"W)	21.93
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	TOTAL:	49.93
NON-DRIVE THRU SIDE	① McDONALD'S LOGO (2'-3"H X 18'-6"W)	33
	TOTAL:	33
DRIVE THRU SIDE	① McDONALD'S LOGO (2'-3"H X 18'-6"W)	33
	TOTAL:	33
	TOTAL BUILDING SIGNAGE	115.93

PREPARED FOR: **McDonald's USA, LLC**
 PREPARED BY: **URS Corporation**
 architects - engineers - planners
 1255 Broad Street, Suite 201
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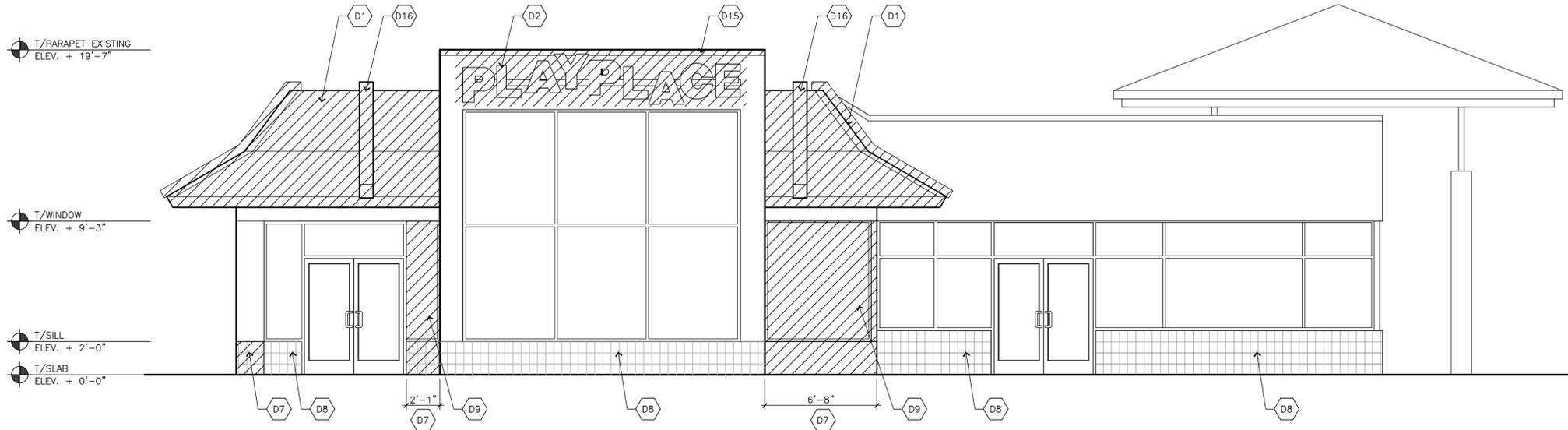
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 STD ISSUE DATE: OCTOBER 2017
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 SITE ADDRESS: 010-1045
 MONROE, CA 30655

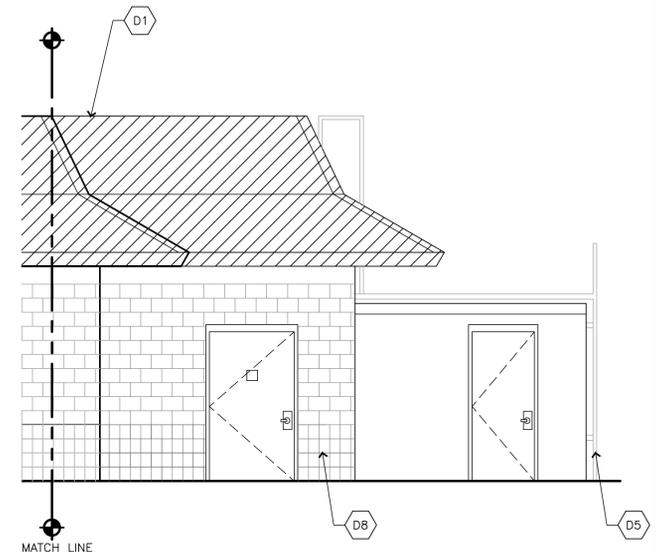
TITLE: **2017 MRP 2.0 CORE 16 EXTENSION**
 DESCRIPTION: **WOOD BEARING WALLS W/EIFS EXTERIORS FINISH STEEL ROOF TRUSS FRAMING BRICK EXTERIOR FINISH**

SHEET NO. **A2.1**
 ELEVATIONS

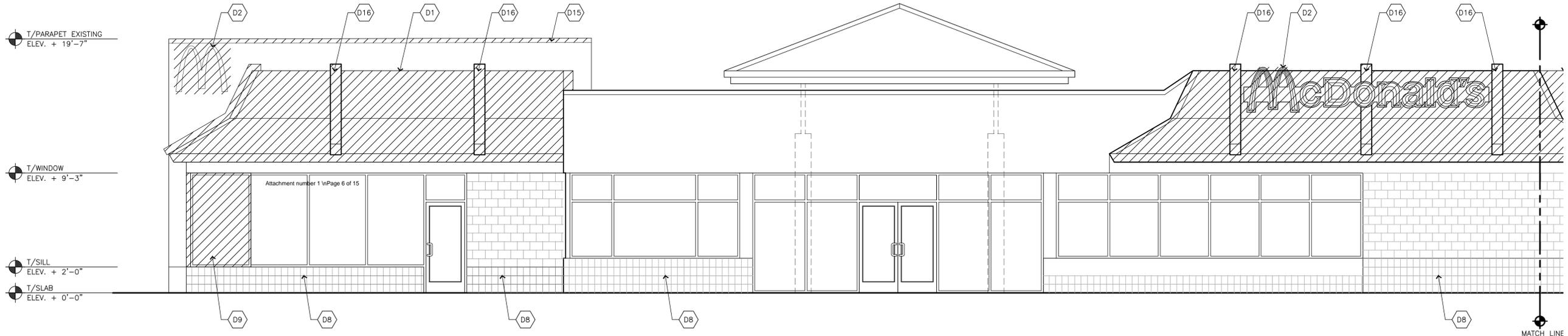
DATE: _____
 REV: _____
 DESCRIPTION: _____



1 DEMOLITION: FRONT ELEVATION
 AD2.0 SCALE: 1/4" = 1'-0"



3 DEMOLITION: NON-DRIVE THRU ELEVATION
 AD2.0 SCALE: 1/4" = 1'-0"



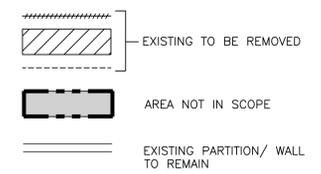
2 DEMOLITION: NON-DRIVE THRU ELEVATION
 AD2.0 SCALE: 1/4" = 1'-0"

DEMOLITION KEY NOTES:

REFER TO D1.0 FOR DEMOLITION GENERAL NOTES
 (Dx)'x' DENOTES KEY NOTE NUMBER BELOW

1. REMOVE PROJECTION OF EXISTING MANSARD FRAMING AND SHEATHING AS REQUIRED TO SUIT NEW WORK; PROVIDE SUPPLEMENTAL FRAMING TO MAINTAIN THE INTEGRITY OF THE MANSARD STRUCTURE AND TO SUIT NEW WORK. REFER TO STRUCTURAL DRAWINGS.
2. REMOVE EXISTING BUILDING SIGNAGE, CUT BACK AND SECURE ANY ELECTRICAL WIRING TO BEHIND PLYWOOD SHEATHING.
3. EXISTING SELF-SERVE BEVERAGE BAR (SSBB) TO REMAIN.
4. EXISTING MECHANICAL DUCTWORK TO REMAIN. EXISTING DIFFUSERS TO BE REMOVED & REPLACED.
5. EXISTING ROOF LADDER TO REMAIN.
6. REMOVE ALL EXISTING INTERIOR FINISHES WALLS, FLOORS AND CEILINGS. COORDINATE THE EXTENT OF DEMOLITION WITH THE DECOR DRAWINGS FOR NEW SCHEDULED FINISHES.
7. REMOVE EXISTING EXTERIOR FINISH IN INDICATED AREA INCLUDING SHEATHING. PREPARE EXPOSED SHEATHING TO RECEIVE NEW WALL FINISH TO SUIT NEW WORK.
8. EXISTING CMU FINISH TO BE REMAIN.
9. REMOVE EXISTING INTERIOR PARTITIONS, DOORS, STOREFRONT WINDOW ASSEMBLY, MAINTAIN OR PROVIDE STRUCTURAL SUPPORT AS REQUIRED. (V.J.F.)
10. TOILET DEMOLITION SCOPE:
 - REMOVE PLUMBING FIXTURES.
 - REMOVE ALL ACCESSORIES.
 - REMOVE TOILET PARTITION DOORS, FRAMES, AND ASSOCIATED HARDWARE.
 - REMOVE FLOOR AND WALL FINISHES.
 - REMOVE PARTITIONS AS NOTED.
 - REMOVE CEILING.
 - REMOVE LIGHT FIXTURES.
 - REMOVE DIFFUSERS, REGISTERS.
11. EXISTING DIGITAL MENU BOARD TO REMAIN.
12. REMOVE EXISTING COUNTERTOP ASSEMBLY TO SUIT NEW WORK. REFER TO CONSTRUCTION DRAWING A1.0. COORDINATE WITH DECOR DRAWING.
13. EXISTING CBB WALL - REMOVE EXISTING FINISH AT DINING ROOM SIDE ONLY. EXISTING/SHEATHING TO REMAIN.
14. FOR FURNITURE DEMOLITION SEE INTERIOR DECOR DRAWINGS.
15. EXISTING COPING TO BE REMOVED.
16. REMOVE ALL EXISTING MANSARD LIGHT BEAMS, ASSOCIATES CONDUIT AND BOXES. CUT BACK AND SECURE WIRING.

DEMOLITION LEGEND:

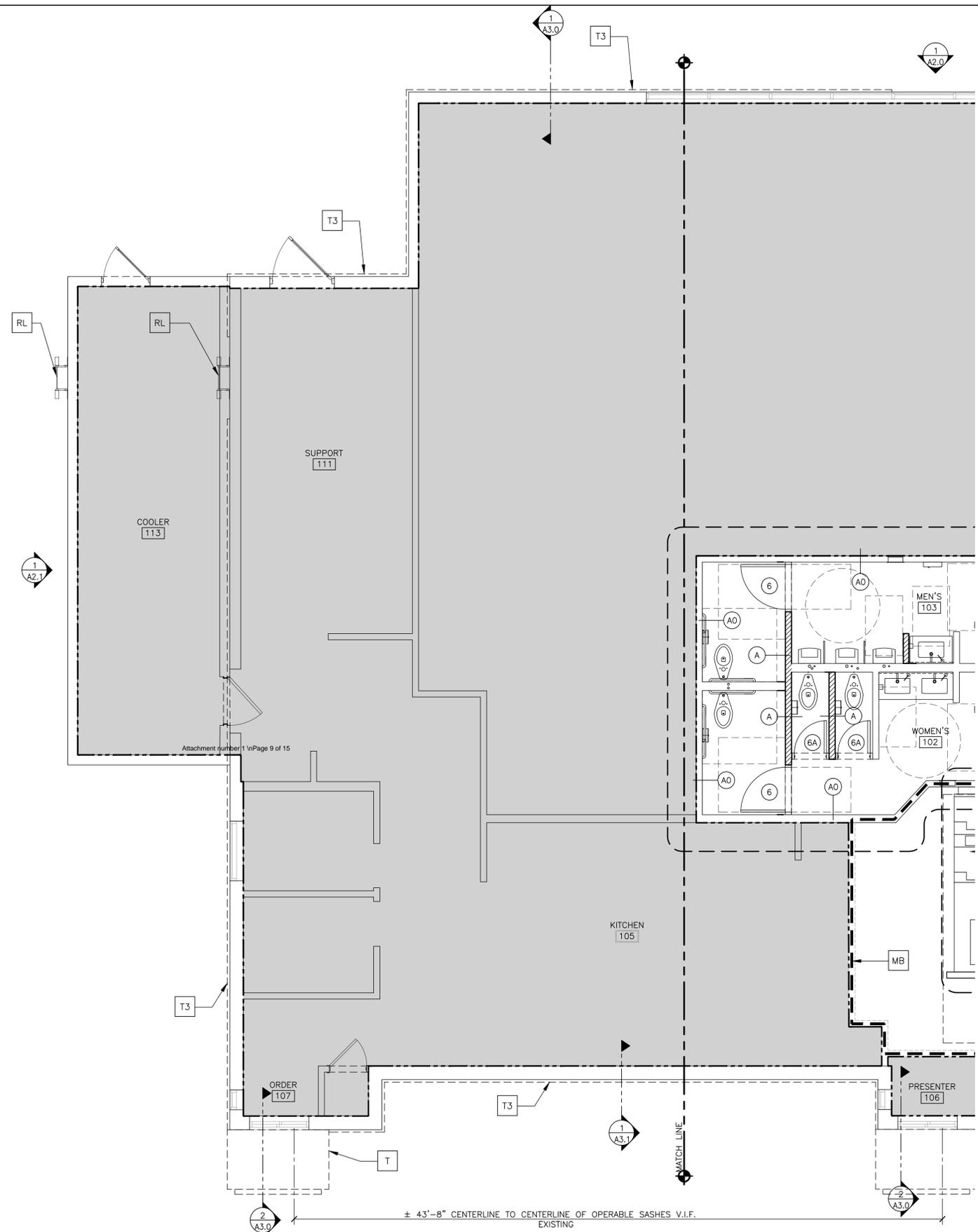


NO.	DATE	DESCRIPTION	BY

PREPARED BY:
URS Corporation
 architects - engineers - planners
 1255 Broad Street, Suite 201
 Clifton, NJ 07013-3988
 973.883.8590 fax 973.883.8501
<http://www.urscorp.com>

PREPARED FOR:
McDonald's USA, LLC
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DRAWN BY AR	STD. ISSUE DATE OCTOBER 2017	REVIEWED BY AECOM Team	DATE ISSUED 11/02/17
TITLE 2017 MRP 2.0 CORE 16 EXTENSION		DESCRIPTION DEMOLITION: ELEVATION & NOTES	
SHEET NO. AD2.0		SITE ADDRESS 1010-1045 2025 W SPRING ST MONROE, CA 94655	



1 FLOOR PLAN
1/4" = 1'-0"

SYMBOL LEGEND

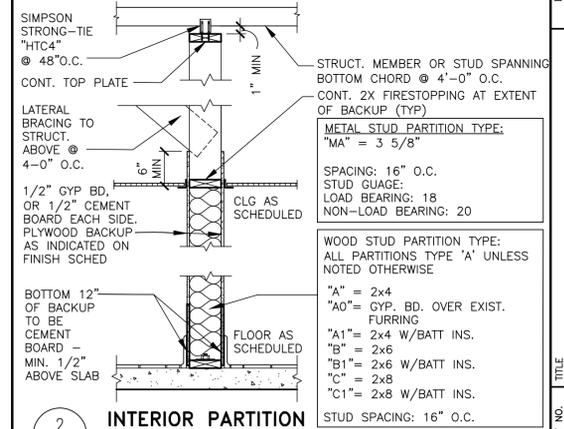
- AREA NOT IN SCOPE
- DRAFT STOPPING - SEE 2/A1.0
- PARTITION TYPE TAG SEE 2/A1.0
- DOOR TAG - SEE DOOR SCHEDULE ON A6.0
- KEY NOTE
- EXISTING PARTITION/ WALL TO REMAIN
- NEW PARTITION - TYPE TAG SEE 2/A1.0

KEY NOTES

- BRAND WALL
- ALUMINUM CANOPY SYSTEM ABOVE - SEE 6/A3.0 FOR NOTES - SEE ROOF PLAN FOR DIMENSIONS
- FRONT COUNTER - NEW MODULAR FRONT COUNTER
- MENU BOARDS - EXISTING DIGITAL MENU BOARD TO REMAIN.
- ROOF LADDER (EXISTING)
- SELF-SERVE BEVERAGE BAR - EXISTING TO REMAIN
- SELF-ORDER KIOSK - POWER & DATA FROM CEILING, FOR FURNITURE (COORDINATE FINISH LOCATION WITH DECOR)
- NEW TRELLIS SYSTEM ABOVE - SEE 6/A3.0 FOR NOTES - SEE ROOF PLAN FOR DIMENSIONS
- NEW ALUMINUM TRELLIS 2x8 WALL FASCIA BY OTHERS, SEE ELEVATIONS
- DROPPED SOFFIT ABOVE - SEE REFLECTED CEILING PLAN

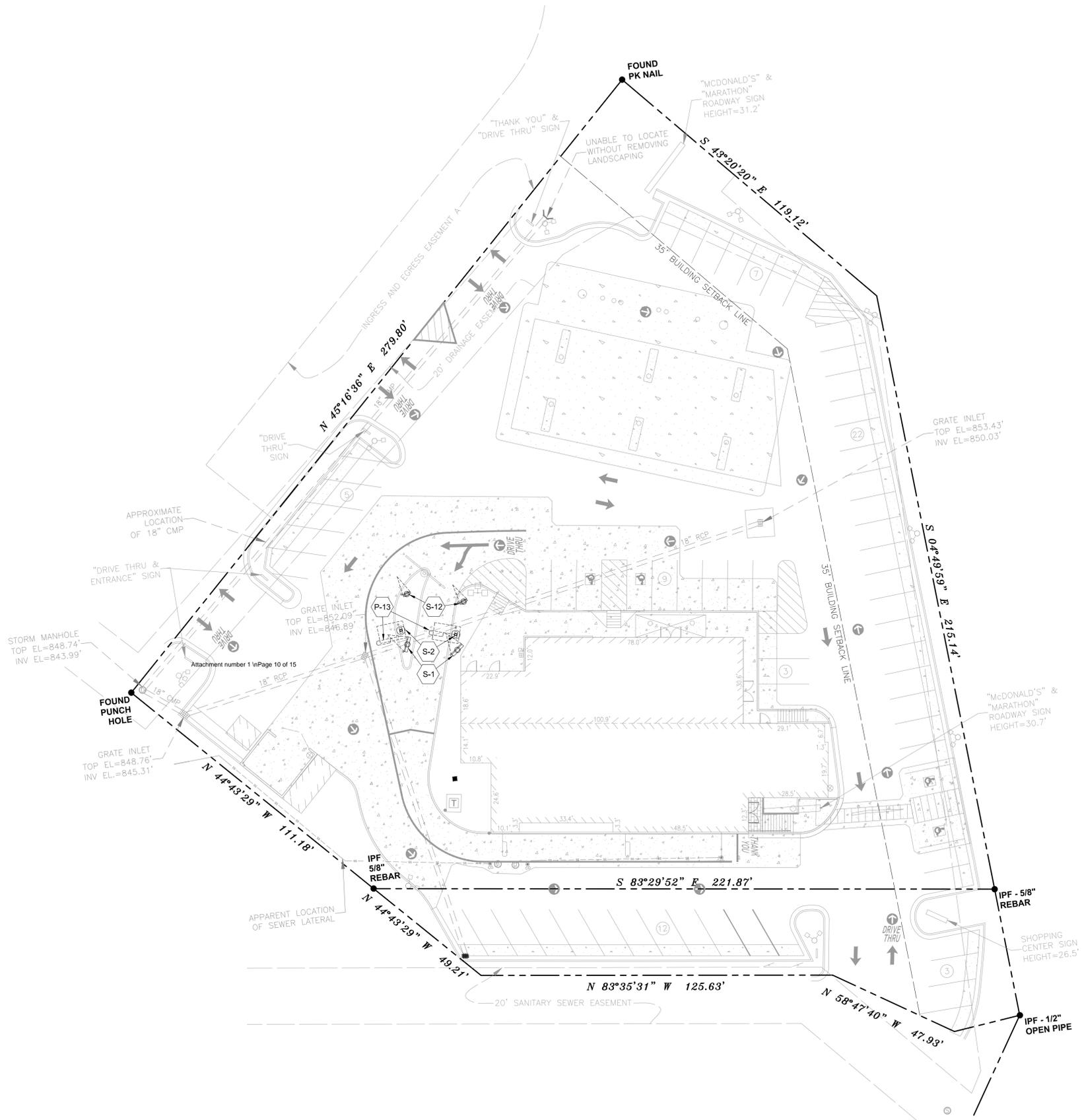
GENERAL NOTES

1. EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE LINES AND EXTERIOR FACE OF FINISH UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS ARE TO FACE OF INTERIOR WALL BOARD
2. SEE 6/A3.0 FOR EXTERIOR WALL ASSEMBLY TYPES. SEE 2/A1.0 FOR INTERIOR PARTITION TYPES. INTERIOR PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE.
3. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES
4. SEE SHEET A4.1 FOR DOOR AND ROOM FINISH SCHEDULES
5. SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
6. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY STATE CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588 www.forrestpermasign.com NEW ROCHELLE, NY 10802 MAXIMUM OCCUPANCY SIGN TO BE POSTED PER STATE CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
7. GC TO PROVIDE A.D.A. COMPLIANT ALUMINUM THRESHOLD AT ENTRY DOORS.
8. GC TO PROVIDE A.D.A. COMPLIANT KICK PLATE 10" MINIMUM AT A.D.A. ROUT ENTRY DOORS.

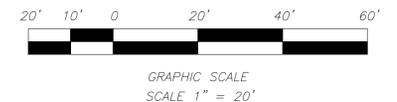


2 INTERIOR PARTITION
3/4" = 1'-0"

SYMBOL LEGEND	DESCRIPTION
AREA NOT IN SCOPE	
DRAFT STOPPING - SEE 2/A1.0	
PARTITION TYPE TAG SEE 2/A1.0	
DOOR TAG - SEE DOOR SCHEDULE ON A6.0	
KEY NOTE	
EXISTING PARTITION/ WALL TO REMAIN	
NEW PARTITION - TYPE TAG SEE 2/A1.0	
KEY NOTES	
BRAND WALL	
ALUMINUM CANOPY SYSTEM ABOVE - SEE 6/A3.0 FOR NOTES - SEE ROOF PLAN FOR DIMENSIONS	
FRONT COUNTER - NEW MODULAR FRONT COUNTER	
MENU BOARDS - EXISTING DIGITAL MENU BOARD TO REMAIN.	
ROOF LADDER (EXISTING)	
SELF-SERVE BEVERAGE BAR - EXISTING TO REMAIN	
SELF-ORDER KIOSK - POWER & DATA FROM CEILING, FOR FURNITURE (COORDINATE FINISH LOCATION WITH DECOR)	
NEW TRELLIS SYSTEM ABOVE - SEE 6/A3.0 FOR NOTES - SEE ROOF PLAN FOR DIMENSIONS	
NEW ALUMINUM TRELLIS 2x8 WALL FASCIA BY OTHERS, SEE ELEVATIONS	
DROPPED SOFFIT ABOVE - SEE REFLECTED CEILING PLAN	
GENERAL NOTES	
1. EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE LINES AND EXTERIOR FACE OF FINISH UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS ARE TO FACE OF INTERIOR WALL BOARD	
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	DATE: _____
URS Corporation architects - engineers - planners 1255 Broad Street, Suite 201 Clifton, NJ 07013-3988 973.883.8590 fax 973.883.8501 http://www.urscorp.com	REV _____
PREPARED FOR: McDonald's USA, LLC <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without the written consent of McDonald's USA, LLC. The consent does not constitute an endorsement or approval by McDonald's USA, LLC of the drawings or specifications for use on a different site or at a later time. Use of these drawings for reference or example on another project requires the written consent of McDonald's USA, LLC. The contract documents for the project are the contract documents for use on another project is not authorized.</small>	DRAWN BY: AR STD ISSUE DATE: OCTOBER 2017 REVIEWED BY: AECOM Team DATE ISSUED: 11/02/17
TITLE: 2017 MRP 2.0 CORE 16 EXTENSION DESCRIPTION: PARTIAL FLOOR PLAN	MONROE, CA 30655 010-1045 2025 W SPRING ST
SHEET NO. 1010-1045.00.0 A1.1 FLOOR PLAN	



PROPOSED SIGNS	
S-1	OUTDOOR DIGITAL MENU BOARD
S-2	SPRINGBOARD CANOPY
S-12	DIGITAL PRE-SALE BOARD
MISCELLANEOUS ITEMS	
P-13	DETECTOR LOOP



NO.	DATE:	ISSUE	DESCRIPTION
1			
2			
3			
4			



McDonald's USA, L.L.C.
One Glenlake Parkway, Suite 500 Atlanta, Ga 30328-5327

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McDonald's
2025 West Spring Street
Monroe, GA 30655
Walton County
Zoned: B-3

MCD STATE SITE CODE:
10-1045

IEDS PROJECT NUMBER:
MCD-1742

SHEET TITLE:
SITE PLAN

SHEET NUMBER **2** / **4**



SINGLE 55"

Modular Range

Hot-dipped galvanized frame

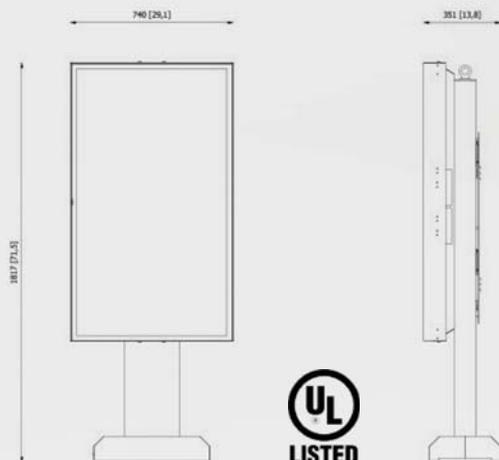
Aluminum panels

Modular Mounting Structure

Allows for various screen sizes with panel/mount replacement

Option for crane in or manual 2 person assembly

Currently designed for the Samsung OHF panel but mounting hardware can be modified for alternate screen specifications in future



Item # 2

For enquiries and further information on our range of products please visit www.coatesgroup.com



DOUBLE 55"

Modular Range

Hot-dipped galvanized frame

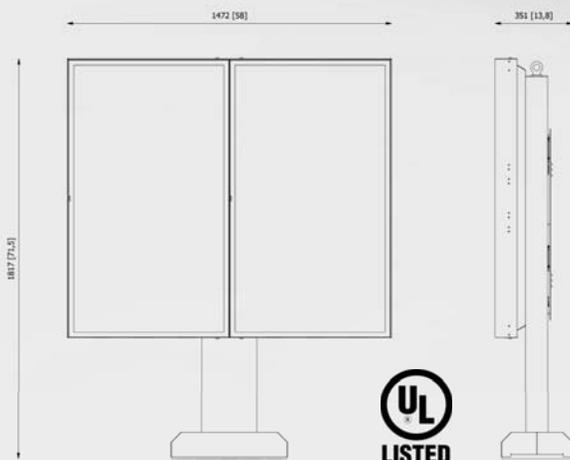
Aluminum panels

Modular Mounting Structure

Allows for various screen sizes with panel/mount replacement

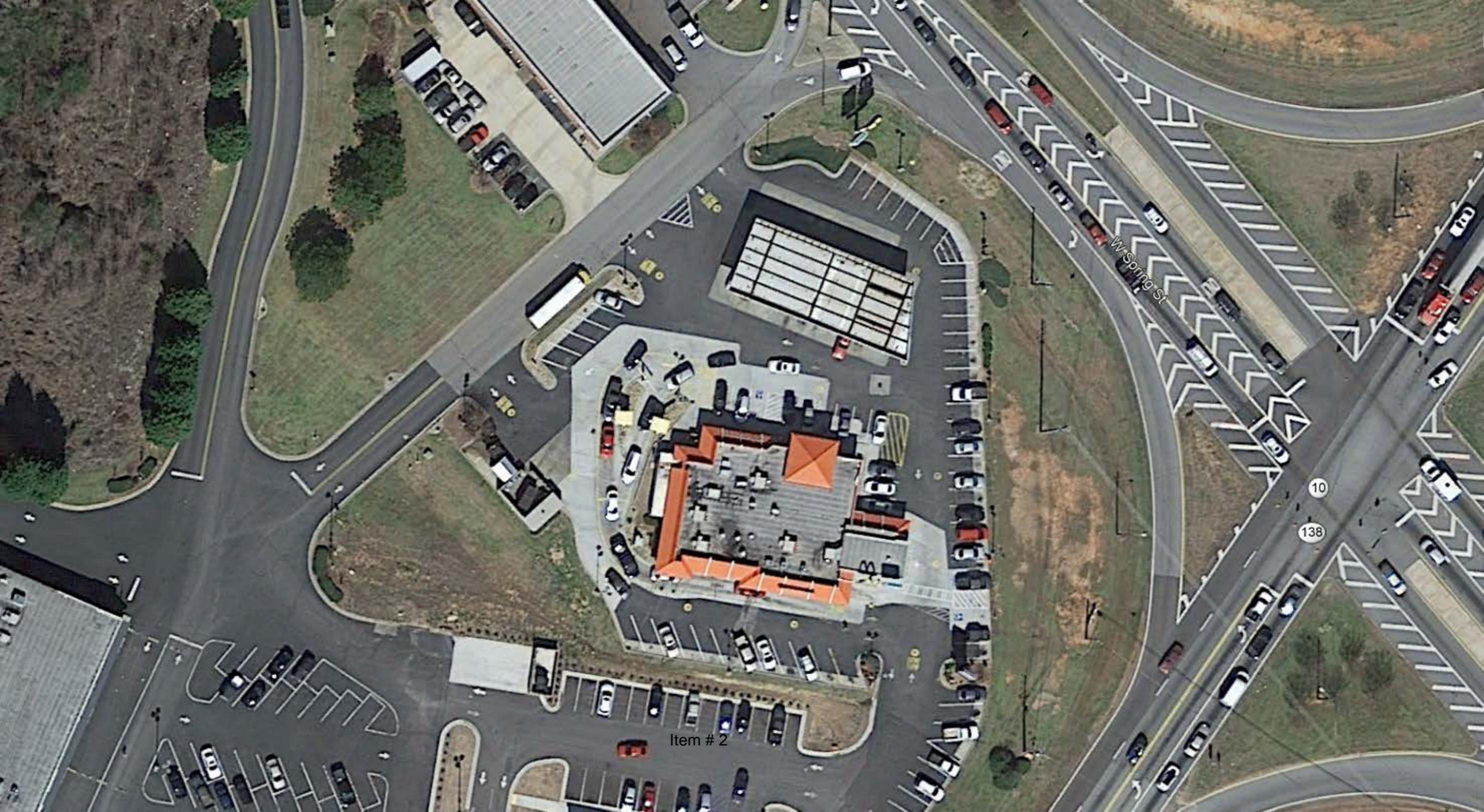
Option for crane in or manual 2 person assembly

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